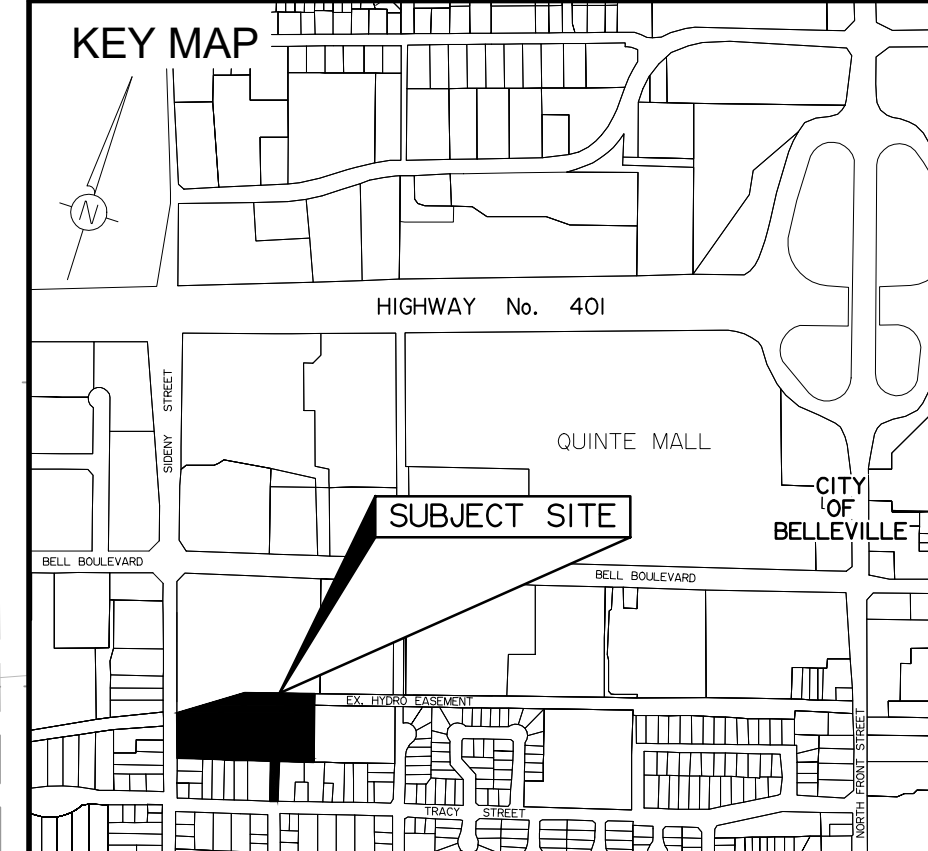
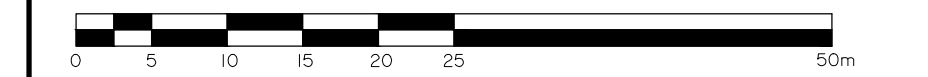


DRAFT PLAN OF SUBDIVISION
645 SIDNEY STREET

PARTS 1 & 2, PLAN 21R-25292,
PART OF LOTS 17 & 18
REGISTERED PLAN 22 (LEMOINE)
CITY OF BELLEVILLE,
COUNTY OF HASTINGS
SCALE 1:500



LAND USE SCHEDULE

LAND USE	AREA(m ²)	AREA%	UNITS
BLOCKS 1-6 - FREEHOLD 2 STOREY TOWNHOUSE LOTS 5.2m MIN. FRONTAGE, MIN. LOT AREA 157.3m ²	6454.8	27.6	34
BLOCK 7 - COMMON ELEMENT (FOR BLOCKS 1-6)	2619.3	11.2	
BLOCK 8 - 160 BED LONG TERM CARE FACILITY	8718.1	37.2	
BLOCK 9 - PARKLAND/OPEN SPACE	4521.1	19.3	
19.0m RADIUS CUL-DE-SAC (35.1m) MUNICIPAL ROAD ALLOWANCE (ADRIAN STREET EXTENSION)	1095.2	4.7	
SITE TOTAL	23408.5m²	100.0%	34

ADDITIONAL INFORMATION REQUIRED UNDER SECTION 51(17) OF THE PLANNING ACT.

- (a) SEE SURVEYORS CERTIFICATE.
- (b) AS SHOWN ON DRAFT PLAN.
- (c) AS SHOWN ON DRAFT PLAN.
- (d) SEE LAND USE SUMMARY.
- (e) SEE DRAFT PLAN.
- (f) AS SHOWN ON DRAFT PLAN.
- (g) AS SHOWN ON DRAFT PLAN.
- (h) MUNICIPAL WATER AND SANITARY SEWER
- (i) CLAY LOAM
- (j) AS SHOWN ON DRAFT PLAN.
- (k) GARBAGE COLLECTION, FIRE PROTECTION, ROAD MAINTENANCE, SCHOOL BUSES, ETC.
- (l) AS SHOWN ON DRAFT PLAN.

METRIC NOTE:
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO IMPERIAL BY DIVIDING BY 0.3048.

CONTOURS NOTE:
EXISTING FEATURES PREPARED BY AINLEY GROUP. CONTOURS DRAWN AT INTERVALS OF 0.5m.

PLAN COPYRIGHT
ALL ORIGINAL DRAWINGS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF RFA PLANNING CONSULTANT INC. REPRODUCTION IN WHOLE OR IN PART IS FORBIDDEN WITHOUT THE PRIOR WRITTEN CONSENT OF RFA PLANNING CONSULTANT INC.

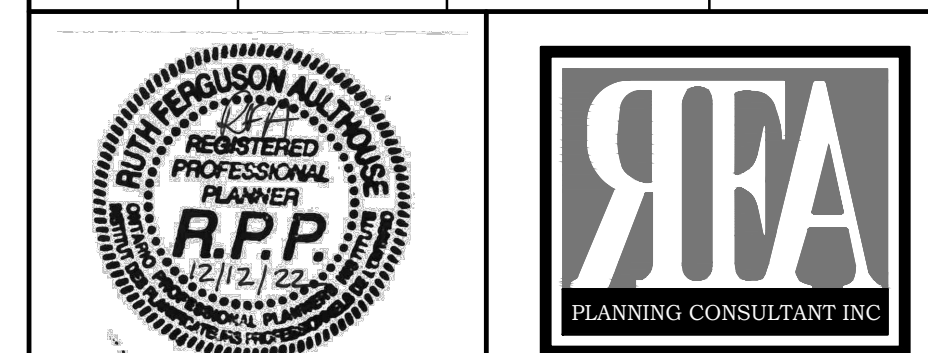
THESE DRAWINGS AND DOCUMENTS MAY NOT BE USED FOR ANY PURPOSES OTHER THAN FOR THE PROJECT FOR WHICH THEY ARE PREPARED. THE PLAN IS NOT AVAILABLE TO THIRD PARTY WITHOUT THE WRITTEN CONSENT OF RFA PLANNING CONSULTANT INC.

SURVEYOR'S CERTIFICATE
I CERTIFY THAT THE BOUNDARIES OF THE LAND TO BE SUBDIVIDED ARE CORRECTLY SHOWN.

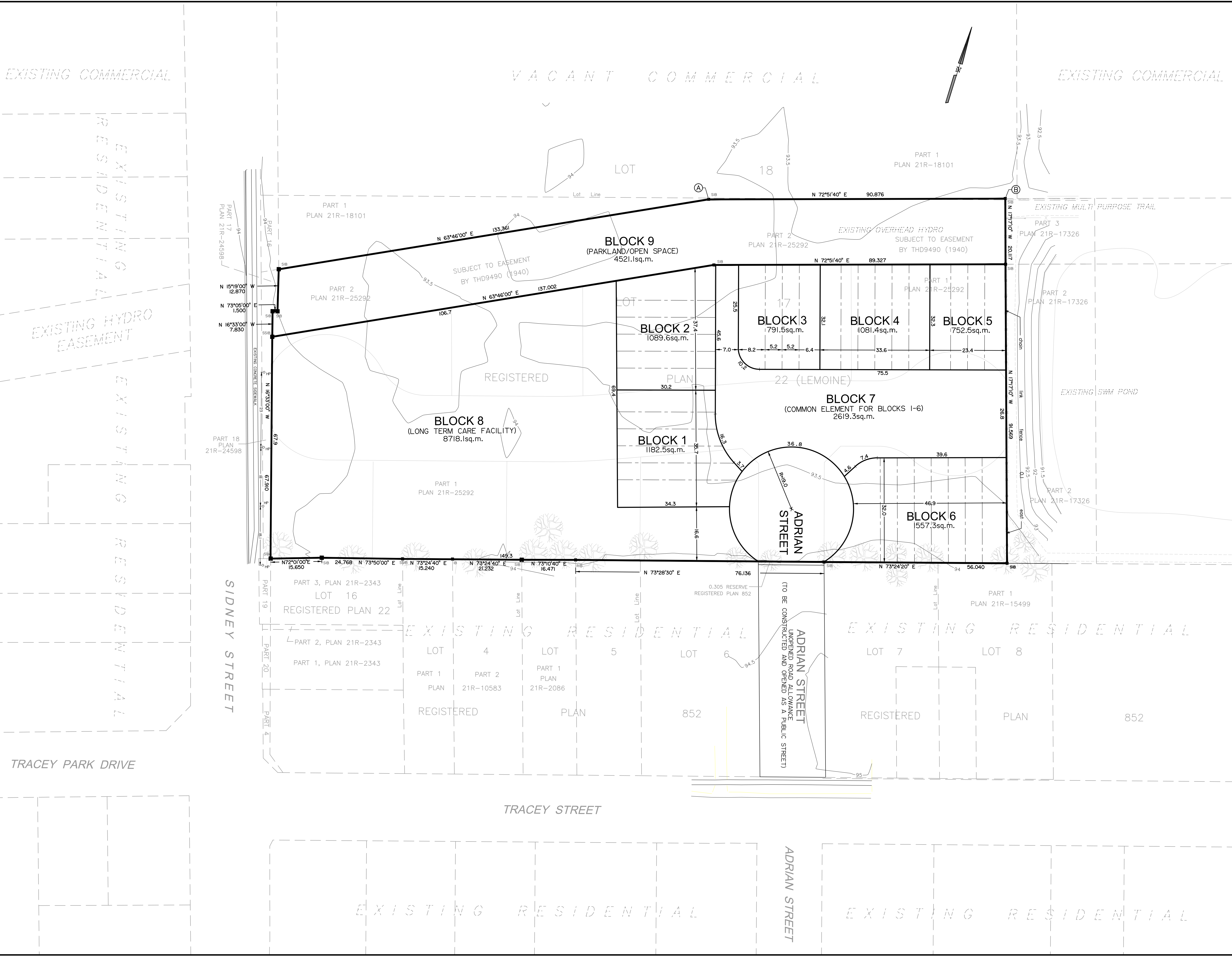
Steven Gifford *John D. 12, 2022*
STEVEN GIFFORD DATE
ONTARIO LAND SURVEYOR.

GIFFORD, HARRIS SURVEYING LTD.
ONTARIO LAND SURVEYORS
255 GLEN MILLER ROAD, TRENTON ONTARIO
(613) 392-2177 (1-877-394-6646)

1	SUBMIT TO CITY OF BELLEVILLE	DEC 12/22	R.F.A.
No.	REVISION	DATE	APPROV
DRAWN BY: L.B.		CHECKED BY: R.F.A.	DATE: DEC 12, 2022
		SCALE: 1:500	



JOB No. 778-DP 211 Dundas Street East, Suite 202, Belleville, Ontario, K8N 1E2



EXISTING COMMERCIAL

VACANT COMMERCIAL

EXISTING COMMERCIAL

EXISTING RESIDENTIAL

EXISTING HYDRO EASEMENT

EXISTING RESIDENTIAL

TRACEY PARK DRIVE

EXISTING RESIDENTIAL

EXISTING RESIDENTIAL