

REVISED
(Nov 30)

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GENERAL NOTES:

CONTRACTOR TO VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO START OF WORK
 EXTERIOR WALL FRAMING DIMENSIONS ARE ALL TAKEN FROM OUTSIDE FACE OF EXTERIOR STUD
 ALL INTERIOR PARTITION WALL DIMENSIONS ARE TAKEN FROM FACE OF INTERIOR STUD
CONCRETE:
 CONCRETE STRENGTH OF UNREINFORCED CONCRETE AFTER 28 DAYS SHALL NOT BE LESS THAN:
 32 MPA FOR GARAGE AND CARPORT FLOORS AND ALL EXTERIOR FLATWORK W/ 15 MPA FOR ALL OTHER APPLICATIONS
 25 MPA FOR CONCRETE USED FOR FLOORS ON GRADE WITHOUT DAMPROOFING

LUMBER:

ALL GENERAL FRAMING LUMBER SHALL BE SPP #1/2 GRADE UNLESS OTHERWISE NOTED
 USE SOLID STUDGING UNDER THE ENDS OF ALL BEAMS AND GIRDERS TRUSSES
 LOAD BEARING WALLS OVER 10' SHALL HAVE BLOCKING EVERY 4' AND SPACED AS PER STUD TABLE

LINTELS:

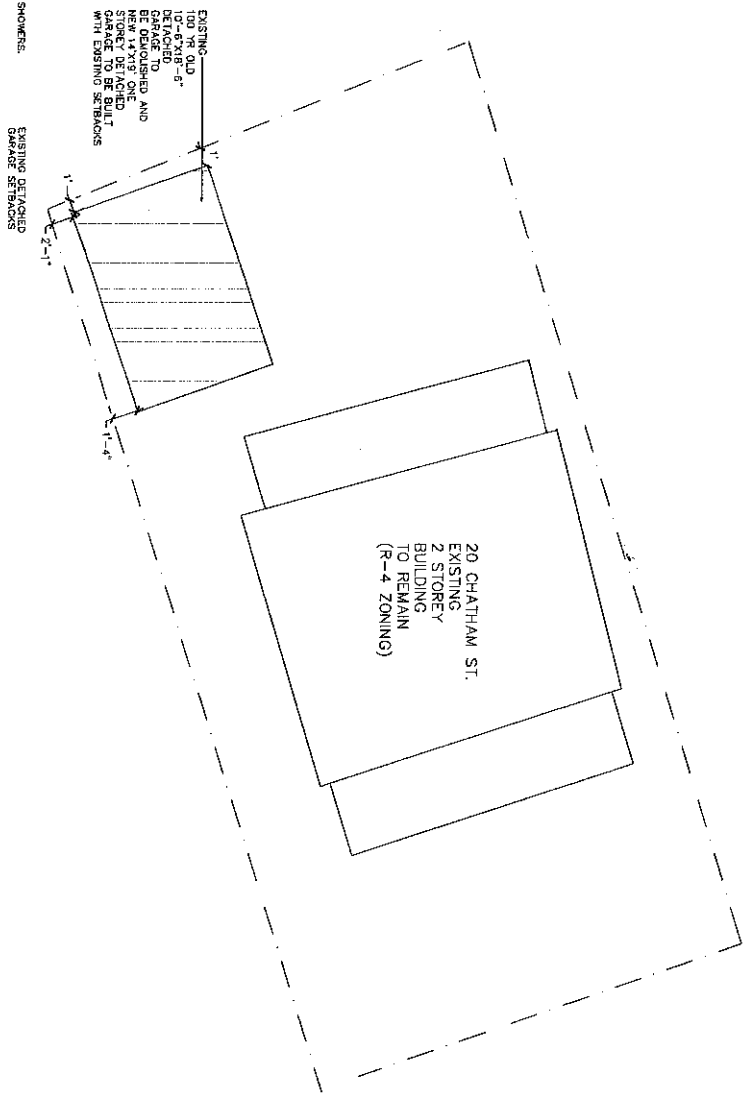
ALL STEEL LINTELS SHALL BE PRIMED. ALL STEEL LINTELS SHALL BE 3" x 3" x 1/2" UNLESS OTHERWISE NOTED
 ANY WOOD LINTELS SUPPORTING FLOOR JOISTS SPANS OVER 16' ENGINEERED FLOOR SYSTEMS OR TRUSS SPANS OVER 32'-2" AND LINTELS SUPPORTING GROUND PRESS LOADS SHALL BE PRE-STRESSED. ALL OTHER LINTELS SHALL BE (3) 2" x 10" SPP LUMBER UNLESS OTHERWISE NOTED

SMOKE/CO ALARMS:

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL BE WIRING SO THAT WHEN THE ALARMS SOUND, ALL ALARMS WILL SOUND AND WITH VISUAL COMPONENT ALSO.

PLUMBING:

WHERE BUILDING IS SERVED BY A PUBLIC SANITARY SEWER OR A PUBLIC COMBINED SEWER, A BACKWATER VALVE SHALL BE INSTALLED ON A BRANCH, A SANITARY BUILDING DRAIN OR A IN A SANITARY BUILDING SEWER
 A DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED IN EACH DWELLING UNIT TO RECOVER DRAIN WATER. DOES NOT APPLY TO DWELLING UNITS WHERE THERE ARE NO SHOWERS OR THERE ARE NO STORES OR GRAY SPACES BENEATH ANY OF THE SHOWERS.



THESE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE 2012 IBC AND BUILDING CODE

THESE PLANS FORM THE BASIS FOR THE CONTRACT. ANY CHANGES FROM THESE PLANS AND DETAILS WILL REQUIRE A REVISED DRAWING AND CLEARANCE FROM THE BUILDING DEPARTMENT

[Signature]
 JOHN PETERO BRN# 59235
 FRM#11755

NOV 30 2012
 DATE

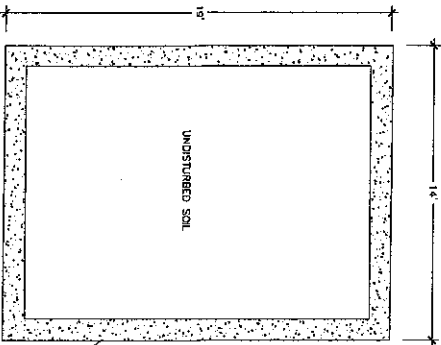
Project: **PERIN/NOVA FRONT PORCH/ROOM/GARAGE**

Location: **20 CHATHAM RD, BELLEVILLE ON**

Site Plan GENERAL NOTES

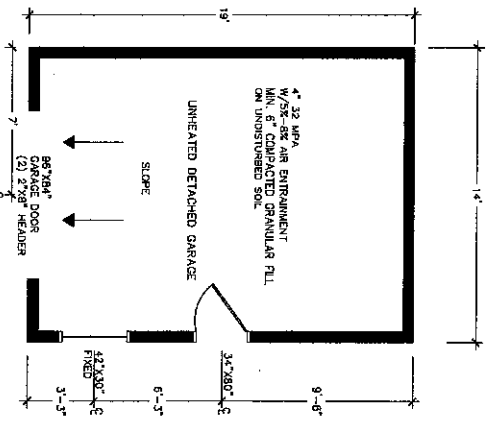
DATE: NOV 30 2012
 DESIGNED BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

Scale: **A1**



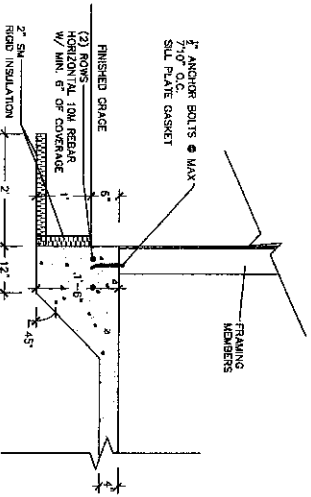
- GENERAL NOTES:**
1. FOUNDATION DIMENSIONS TAKEN FROM OUTSIDE FACE OF SHEATHING CORNERS
 2. 12"x16" x CLUB FOOTING ON UNDISTURBED SOIL (2) ROWS OF 10# REBAR SEE DETAIL

A10 DETACHED GARAGE FOUNDATION PLAN
SCALE 3/8" = 1'



- GENERAL NOTES:**
1. DIMENSIONS TAKEN FROM OUTSIDE FACE OF SHEATHING
 2. - W/4\"/>
 - 3. - 2x6\"/>
 - 4. - 8\"/>
- 3x4 HEADERS TO BE (2) 2x6\"/> UNLESS OTHERWISE NOTED

A10 DETACHED GARAGE FRAMING PLAN (234 SOFT.)
SCALE 3/8" = 1'



A10 CLUB FOOTING/ROAD DETAIL



THESE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE 2012 ILLINOIS BUILDING CODE.

THESE PLANS FORM THE BASIS FOR PERMIT REVIEW AND DEVIATIONS WILL REQUIRE A REVISED DRAWING AND CLEARANCE FROM THE BUILDING DEPARTMENT.

NO. 1	DATE	DESCRIPTION
1	NOV 20/2023	REVISION
2	OCTOBER 20/2023	REVISION
3		REVISION

PROJECT: PETER/PHONDA FRONT PORCH/ROOM/GARAGE

LOCATION: 20 CHATHAM RD BELLEVILLE, IL

OWNER: PETER/PHONDA

DATE: OCTOBER 2023

SCALE: AS SHOWN

PROJECT NO.: A10

A10



Architect

Approved

THESE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE 2012 ONTARIO BUILDING CODE

THESE PLANS FORM THE BASIS FOR PERMIT ISSUANCE AND DEVIATIONS WILL REQUIRE A REVISED DRAWING AND CLEARANCE FROM BY THE BUILDING DEPARTMENT

JOHN MICHAEL BENTLEY ARCHITECTS
FIRM # 13785

No.	Revision and Description	Date
1	ISSUING	NOV 06/2022
2		

PROJECT
PETERBOROUGH
FRONT PORCH/ROOM/GARAGE

Location
20 CHATHAM RD
BELLEVILLE ON

Client
Proposed Detached Garage
Roof Plan

Drawn
3/18

Scale
1/8" = 1'-0"

Date
October 2022

Designed by
J.M.B.

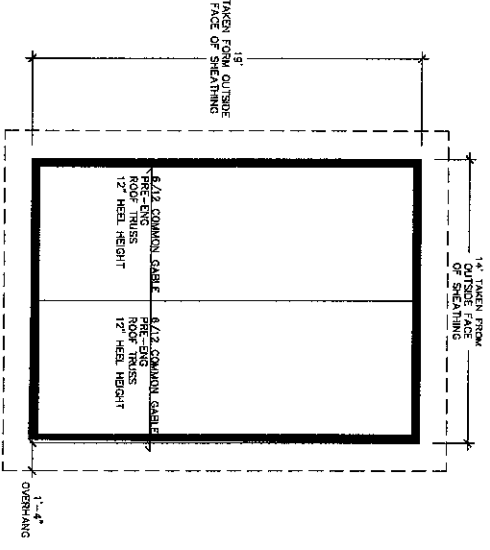
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J.M.B.

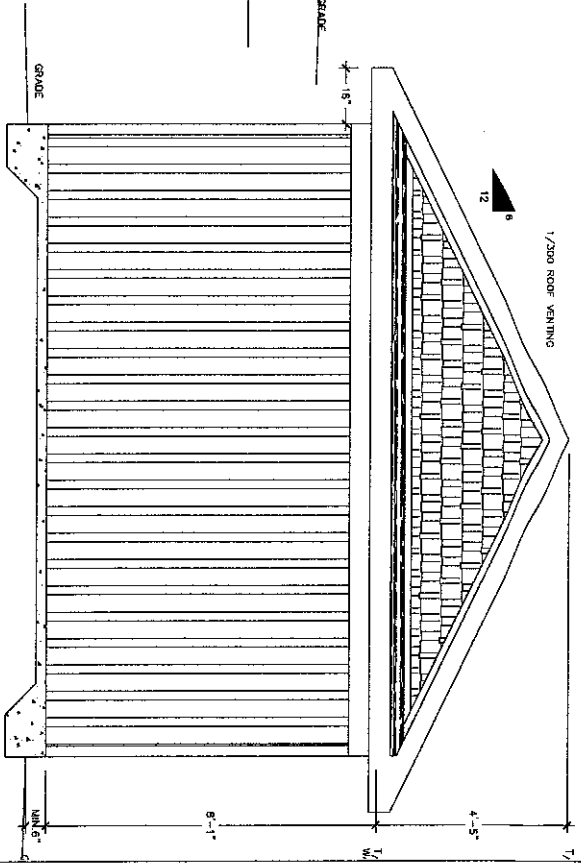
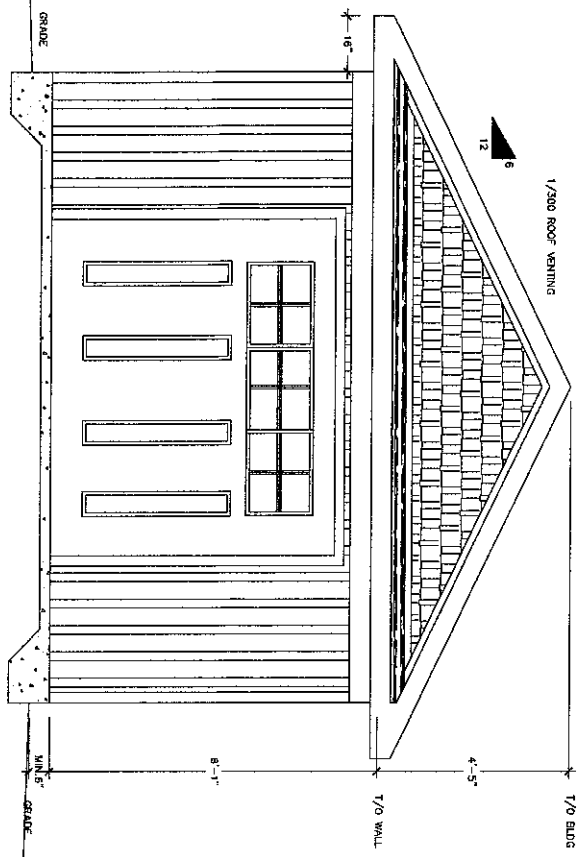
ATM

ROOF NOTES:

1. ASPHALT SHINGLES (COLOUR T.B.D.)
2. 1/2" GYP BOARD
3. 1" PLYWOOD W/4-CLIPS
4. 1/2" PLYWOOD W/4-CLIPS
5. 1" PLYWOOD W/4-CLIPS
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100. 1/2" PLYWOOD W/4-CLIPS



1 DETACHED GARAGE ROOF PLAN
AT SCALE 3/8" = 1'



DETACHED GARAGE FRONT ELEVATION

DETACHED GARAGE REAR ELEVATION

NOTES

THESE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE 2012 ON-HAND BUILDING CODE.

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ZORNE FELDSON, ARCHITECT
FIRM#113765

NO.	REVISION	DATE
1	REVISED	NOV 20/2012
2	REVISED	NOV 20/2012
3	REVISED	NOV 20/2012
4	REVISED	NOV 20/2012

PROJECT
PETER/PHONDA
FRONT PORCH/ROOM/GARAGE
80 CHATHAM RD
BELLMEAD, NJ

PROPOSED DETACHED GARAGE FRONT AND REAR ELEVATION

Drawn by: _____
 Checked by: _____
 Date: _____
 Scale: _____
 Project No: _____
 Revision No: _____
 Date: _____
 Drawn by: _____
 Checked by: _____
 Date: _____
 Project No: _____
 Revision No: _____
 Date: _____

