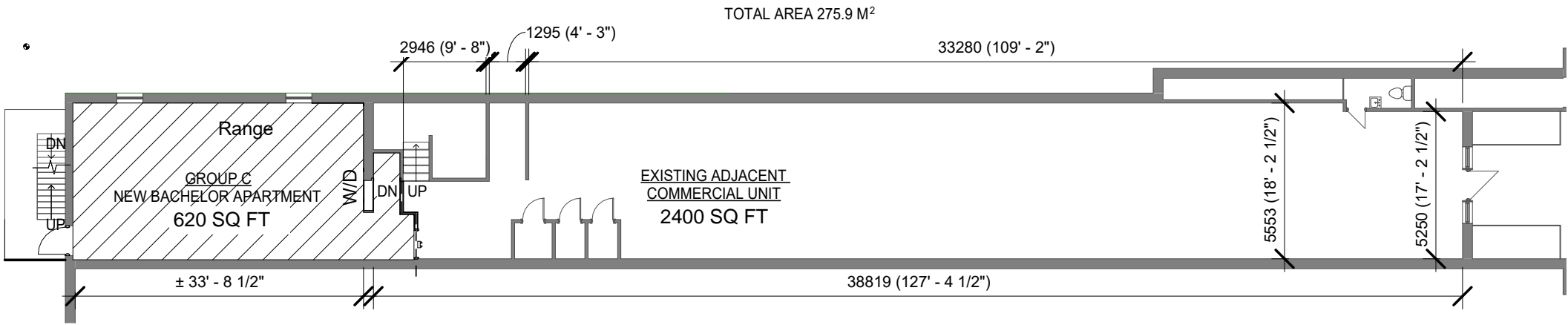
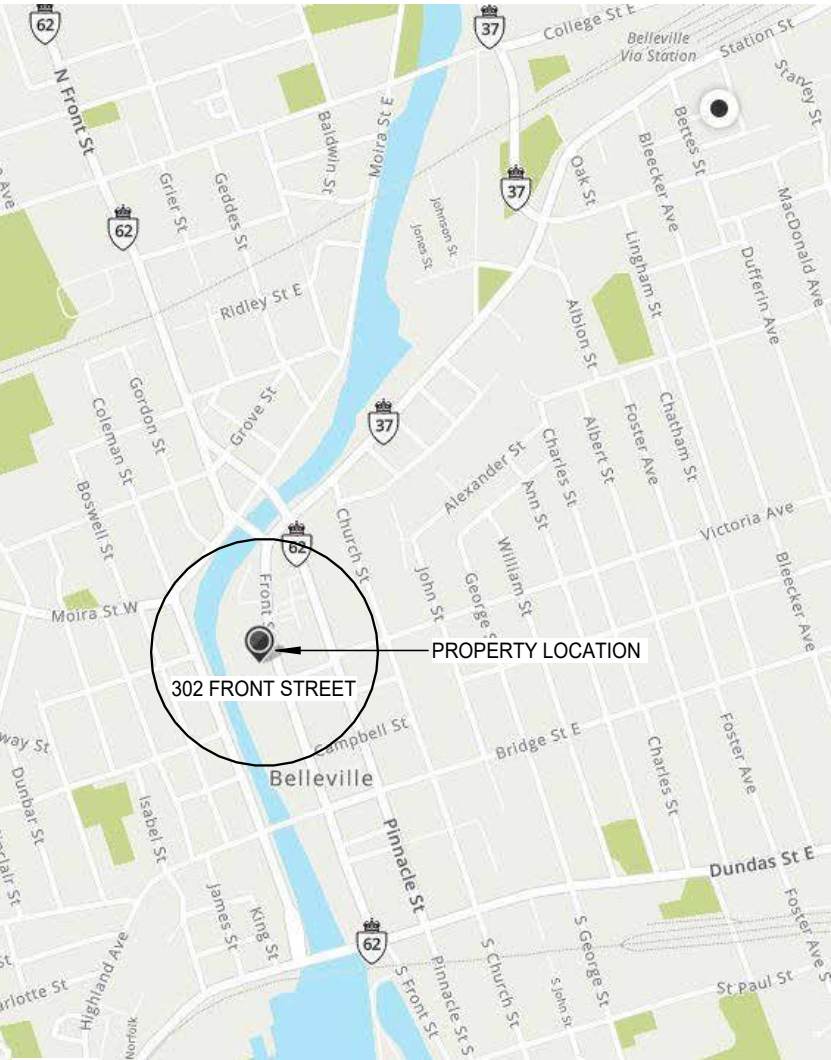


302 FRONT STREET RENOVATION
BELLEVILLE, ONTARIO



1 GROUND FLOOR - KEY PLAN
A000 SCALE 1 : 200



PROJECT 0962404199
302 FRONT ST RENOVATION

ADDRESS
302 FRONT ST., BELLEVILLE, ON

TITLE
COVER PAGE

CLIENT
RICARDO CHIRINOS

DRAWN BY
ML

CHECKED BY
MV

SCALE
1 : 200

DATE
2025/06/12



DWG. #

A000

ASSEMBLIES

TAG #	SECTION	DESCRIPTION	SB-3 #	FRR	STC
P1		- 1/2" GYPSUM WALLBOARD - 2x4 WOOD STUDS @ 16" O.C. - 1/2" GYPSUM WALLBOARD			
P2		INFILL EXISTING DOOR OPENING - 1/2" GYPSUM WALLBOARD - 2x6 WOOD STUDS STAGGERED TO SUIT EXISTING WALL WIDTH @ 16" O.C. - 1/2" GYPSUM BOARD			
P3		- 5/8" TYPE 'X' GYPSUM WALLBOARD - 2x4 WOOD STUDS @ 16" O.C. - 3 1/2" THICK MINIMUM ABSORPTIVE MATERIAL - RESILIENT METAL CHANNEL ONE SIDE @ 16" O.C. - 2 LAYERS 5/8" TYPE 'X' GYPSUM WALLBOARD	W4a	1HR	51
P1		- EXISTING WALL - 2x4 WOOD STUDS @ 16" O.C. - 1/2" GYPSUM WALLBOARD			
F1		- 5/8" PLYWOOD SUBFLOOR - WOOD FLOOR JOISTS SPACES NOT MORE THAN 16" O.C. - ABSORPTIVE MATERIAL IN CAVITY - RESILIENT METAL CHANNELS SPACED 16" O.C. - 2 LAYERS 1/2" TYPE 'X' GYPSUM WALLBOARD	F9g	1HR	51

PART 10 - CHANGE OF USE			OBC REFERENCE																								
10.01	PROJECT TYPE	CHANGE OF USE DESCRIPTION: CHANGE FROM GROUP D TO GROUP C	[A] 1.1.2.																								
10.02	MAJOR OCCUPANCY CLASSIFICATION	OCCUPANCY: GROUP C USE: BACHELOR APPARTMENT	3.1.2.1.(1)																								
10.03	SUPERIMPOSED MAJOR OCCUPANCIES	-NO (IF YES, PROVIDE EXPLANATION BELOW) -	3.2.2.7.																								
10.04	BUILDING HEIGHT	STOREYS ABOVE GRADE: 4 ABOVE GRADE: -m STOREYS BELOW GRADE: 1	[A] 1.4.1.2. & 3.2.1.1.																								
10.05	NUMBER OF STREETS / FIRE FIRGHTER ACCESS	STREETS: 1	3.2.2.10. & 3.2.5.																								
10.06	BUILDING SIZE		T.11.2.1.1.B.-N.																								
10.07	EXISTING BUILDING CLASSIFICATION	CHANGE IN MAJOR OCCUPANCY: CHANGE FROM GROUP D TO GROUP C CONSTRUCTION INDEX: 4 HAZARD INDEX: REMAINING AT A 3	10.1.1.2. 10.2.1.2. 10.2.1.3.																								
10.08	OCCUPANT LOAD	<table><tr><td><u>FLOOR</u></td><td><u>OCCUPANCY</u></td><td><u>BASED ON</u></td><td>OCCUPANT LOAD</td></tr><tr><td>BASEMENT</td><td>GROUP C</td><td>EXISTING</td><td>BASEMENT: EXISTING</td></tr><tr><td>GROUND</td><td>GROUP C</td><td>CHANGED TO</td><td></td></tr><tr><td>SECOND</td><td>GROUP C</td><td>EXISTING</td><td></td></tr><tr><td>THIRD</td><td>GROUP C</td><td>EXISTING</td><td></td></tr><tr><td>FOURTH</td><td>NO OCCUPANCY</td><td>EXISTING</td><td></td></tr></table>	<u>FLOOR</u>	<u>OCCUPANCY</u>	<u>BASED ON</u>	OCCUPANT LOAD	BASEMENT	GROUP C	EXISTING	BASEMENT: EXISTING	GROUND	GROUP C	CHANGED TO		SECOND	GROUP C	EXISTING		THIRD	GROUP C	EXISTING		FOURTH	NO OCCUPANCY	EXISTING		3.1.17.
<u>FLOOR</u>	<u>OCCUPANCY</u>	<u>BASED ON</u>	OCCUPANT LOAD																								
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THIRD	GROUP C	EXISTING																									
FOURTH	NO OCCUPANCY	EXISTING																									

NOTES

1. REFER TO DOOR TYPES AND FRAME TYPES ON SHEET A105
2. ALL DOORS ARE SOLID WOOD OR HOLLOW METAL DOORS WITH NO GLAZING

DOOR SCHEDULE

DOOR #	WIDTH	HEIGHT	DOOR TYPE	DOOR MAT'L	DOOR FINISH	FRAME TYPE	FRAME MAT'L	FRAME FINISH	FRR	CLSR	DB	HANDLE	HNG	HO	LOCK	LTCH	PANIC	PUSH	PULL	STOP	COMMENTS
200	3' - 2"	7' - 0"	1	WOOD	PAINT	1	HM	PAINT	1 HR	X		X	X		X	X					
201	3' - 2"	7' - 0"	1	WOOD	PAINT	2	HM	PAINT	1 HR	X		X	X		X	X					NOT A REQUIRED EXIT DOOR
202	3' - 2"	7' - 0"	1	WOOD	PAINT	1	HM	PAINT	N/A			X	X			X					
203	3' - 2"	7' - 0"	1	HM	PAINT	2	HM	PAINT	N/A			X	X		X	X	X				EXTERIOR DOOR
204	2' - 6"	6' - 8"																			
205	2' - 6"	6' - 8"																			
206	2' - 6"	6' - 8"																			
207	2' - 6"	6' - 8"																			

LEGEND

- EXISTING TO REMAIN
- DEMOLITION
- NEW CONSTRUCTION
- NEW FIRE RATED WALL



PROJECT 0962404199
302 FRONT ST RENOVATION

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TITLE
OBC MATRIX, ASSEMBLIES AND NOTES

CLIENT
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SCALE
As indicated

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2025/06/12



DWG. #

A100

LEGEND

- COPPER COLD SUPPLY LINE
- COPPER HOT SUPPLY LINE
- ABS DRAIN LINE
- ☉ SMOKE /CO2/STROBE LIGHT

NOTES

1. ALL NEW DRAIN PIPES TO BE SLOPED AS REQUIRED UPON INSTALLATION.
2. ADEQUATE WET VENTING TO BE INSTALLED BY PLUMBER AS REQUIRED TO PROVIDE ADEQUATE AIR-FLOW TO WATER SUPPLY AND TO TIE INTO EXISTING WASTE VENT AS PER O.B.C. SECTION 7.5.2.1.
3. EXISTING RADIANT HEATERS ARE ADEQUATE AND HEATING IS NOT REQUIRED TO BE MODIFIED.

LINTEL SCHEDULE

- L1 2 - 2x10
- L2 DOUBLE 4" x 5" x 1/4" STEEL ANGLE W/ 6" MIN. BEARING EACH END

NOTE: EXISTING LINTELS IN EXISTING DOOR OPEINGS TO REMAIN FOR NEW DOOR

